

**RESOLUTION NO. CZAB8-2-03**

*WHEREAS*, **S & D LAND DEVELOPMENT** applied for the following:

RU-1 & BU-2 to RU-4M

**SUBJECT PROPERTY:** Commence at the Northeast corner of Tract 27 of REVISED PLAT OF WEST LITTLE RIVER, Plat book 34, Page 19; thence S89°59' 48"E for 25.11' to the Point of beginning of the hereinafter described parcel of land; thence S89°59' 48"E along the S/ly right-of-way line of N.W. 78<sup>th</sup> Street for 548.66' to a Point of tangency of a circular curve to the left concave to the Southeast having a radius of 25' and a central angle of 89°59' 54" for 39.27' ; thence S0°0' 18"W along the E/ly right-of-way line of N.W. 22<sup>nd</sup> Avenue for 392.1' ; thence N89°55' 20"E to a point along the W/ly right-of-way line of N.W. 21<sup>st</sup> Avenue for 596.97' ; thence N0°15' 10"W along the W/ly right-of-way line of N.W. 21<sup>st</sup> Avenue for 391.15' to a Point of tangency of a circular curve to the left concave to the Southwest having a radius of 25' and a central angle of 90°14' 58" for 39.38' to the Point of beginning.

**LOCATION:** The Southeast corner of N.W. 78 Street and N.W. 22 Avenue, Miami-Dade County, Florida, and

*WHEREAS*, a public hearing of the Miami-Dade County Community Zoning Appeals Board 8 was advertised and held, as required by law, and all interested parties concerned in the matter were given an opportunity to be heard, and at which time the applicant proffered a Declaration of Restrictions, and

*WHEREAS*, upon due and proper consideration having been given to the matter, it is the opinion of this Board that the requested district boundary change to RU-4M would not be compatible with the neighborhood and area concerned and would be in conflict with the principle and intent of the plan for the development of Miami-Dade County, Florida, and should be denied, and

*WHEREAS*, a motion to deny the application with prejudice was offered by Arthemion Johnson, seconded by Fredericke Alan Morley, and upon a poll of the members present the vote was as follows:

Winifred C. Beacham	aye	Arthemon Johnson	aye
Bertha M. Carswell	aye	Fredericke Alan Morley	aye
Kerly Cileli	aye	Margaret Rudolph	absent

Billy Hester	aye
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*NOW THEREFORE BE IT RESOLVED* by the Miami-Dade County Community Zoning Appeals Board 8, that the requested district boundary change to RU-4M be and the same is hereby denied with prejudice.

The Director is hereby authorized to make the necessary changes and notations upon the maps and records of the Miami-Dade County Department of Planning and Zoning and to issue all permits in accordance with the terms and conditions of this resolution.

*PASSED AND ADOPTED* this day of 2002.

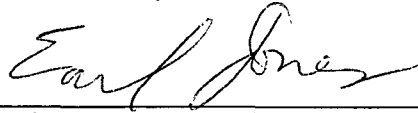
Hearing No. 02-11-CZ8-2  
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**STATE OF FLORIDA**

**COUNTY OF MIAMI-DADE**

I, Earl Jones, as Deputy Clerk for the Miami-Dade County Department of Planning and Zoning as designated by the Director of the Miami-Dade County Department of Planning and Zoning and Ex-Officio Secretary of the Miami-Dade County Community Zoning Appeals Board CZAB 8, DO HEREBY CERTIFY that the above and foregoing is a true and correct copy of Resolution No. CZAB8-2-03 adopted by said Community Zoning Appeals Board at its meeting held on the 5<sup>TH</sup> day of February, 2003.

IN WITNESS WHEREOF, I have hereunto set my hand on this the 6<sup>th</sup> day of February, 2003.



Earl Jones, Deputy Clerk (3230)  
Miami-Dade County Department of Planning and Zoning

**SEAL**

